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Project No. 18894

April 27, 2020

Re: Foundation Evaluation



Dear



As requested, personnel of GreenWorks Engineering and Consulting have completed an observation of the foundation at the address referenced above on April 21, 2020. The purpose of the observation was to collect information necessary to assess the performance of the existing foundation. This evaluation was a Level B evaluation as described in the "Guidelines for the Evaluation and Repair of Residential Foundations" by the Texas Section of the American Society of Civil Engineers (ASCE). For the purpose of this report the house faces west.

Introduction:

The house is a single-story wood framed structure built in 1962. The foundation system of the house is a pier and beam with a perimeter skirt. All the information gathered was from the visual evaluation and no destructive or invasive testing was performed.

Observations:

The interior and exterior of the house appeared to be in relatively good condition. However, there were minor signs of distress.

The interior distress included:

- Hairline cracks in the wall's drywall

The exterior distress included:

- Cracks in the grout on the perimeter skirt

The areas of concern as viewed from the crawlspace included:

- Wood shims are used between the concrete blocks and the wood beams
- The (2) 2x6 beam at the south side of the interior of the residence appears to have twisted
- There are stacked CMU blocks that have shifted and are not level

- The CMU blocks were stacked with no base or footer

Interior Elevation Survey:

An interior floor elevation survey was performed on the living area of the house, with the elevations recorded to the nearest 10th of an inch (0.1"). Adjustments were made to account for the thickness of the floor coverings. A benchmark elevation of 0.0 inches was established on the north wall of the living room near the hallway as shown in Figure 1 of this report.

Foundation History:

There was evidence of previous foundation repair, however GreenWorks Engineering and Consulting have not received any existing foundation report. The exact depth of the existing concrete piers is not known.

Conclusions:

Based on our observations of the interior and exterior cosmetic distress, the floor elevations and calculations, it is our opinion that the house has undergone an excessive amount of movement. The maximum differential deflection is 0.6 inches and occurred over an approximate distance of 11.8 feet. This amount of deflection exceeds the standard allowable deflection of 0.4 inches for a distance of 11.8 feet. The standard allowable differential deflection is based on 1.0 inch of vertical movement, up or down, over a horizontal distance of 30 feet; expressed as Length (in inches)/ 360.

Furthermore, it is our opinion that remedial measures are required to bring the foundation to a more level condition. There are also a few foundation maintenance recommendations that could be beneficial to the future performance of the foundation.

Recommendations:

- 1) Adjust the crawlspace piers as required, using metal shims, to achieve a more level condition between Living Room, Bathroom, and Bedroom 2. It is recommended that all wood shims be replaced with metal shims due to the wood shims can be damaged over the years.
- 2) The existing CMU block piers should bear on a 16"x16"x4" masonry block.
- 3) Adjust or replace the existing (2) 2x6 beam with a new (2) 2x6 pressure treated No. 2 beam.
- 4) Adjust the existing block piers that have shifted to a plumb condition.
- 5) With the completion of the foundation underpinning, a final elevation survey must be performed to provide a final elevation baseline. It is recommended to review the performance of the foundation every 6 to 12 months. Compare all future foundation evaluations to this baseline.

Foundation Maintenance Recommendations:

- 1) To better control the rainwater, add gutters, downspouts and extensions to all the downsloped areas of the roof. The downspouts should discharge the water a minimum of 5 feet from the foundation or into a drainage system.
- 2) To assist in the drainage of free water the soil around the house should be sloped away from the house. The slope should drop a minimum of 3 inches in 5 feet, a 5% slope. If this cannot be done a French Drain may be required.

Limitations:

The opinions and recommendations contained in this report are based on the visual observation of the then current conditions of the house and the knowledge and experience of the engineer. The evaluation was limited to visual observations and areas not visible, accessible or hidden behind furniture and appliances were not included in the evaluation. There has been no structural inspection of the existing framing of the house and no verification of the framing has been done. The evaluation did not include any soil sampling or testing.

The evaluation did not include any assessment of the existing framing, plumbing or soil and no implication is made on the compliance or non-compliance of the house with old or current building codes. The evaluation does not constitute a design of the foundation. No verification was made of the existing concrete strength, thickness, reinforcement nor capacity to support any load.

Foundation movement is a prevalent phenomenon in the Austin metroplex area. Future foundation movement is likely to varying degrees due to the shrink/swell characteristics of the soil. The foundation is prone to movement due to the moisture variation in the existing soil and total prevention of future movement is unlikely.

No guarantee or warranty as to the future performance or need for repair of the foundation is intended or implied. Limits of liability for any claims with respect to this report is limited to the fees paid for services and anyone relying on the content of this report agrees to indemnify GreenWorks Service Company for all costs exceeding this fee.

Prepared by,



H. Wayne Leake III, P.E.
Professional Engineer



GreenWorks Service Company
Texas Registered Engineering Firm 20170

LEGEND

- ⊕ Bench Mark Elevation, 0.0"
- 0.0" Top of Floor Elevation

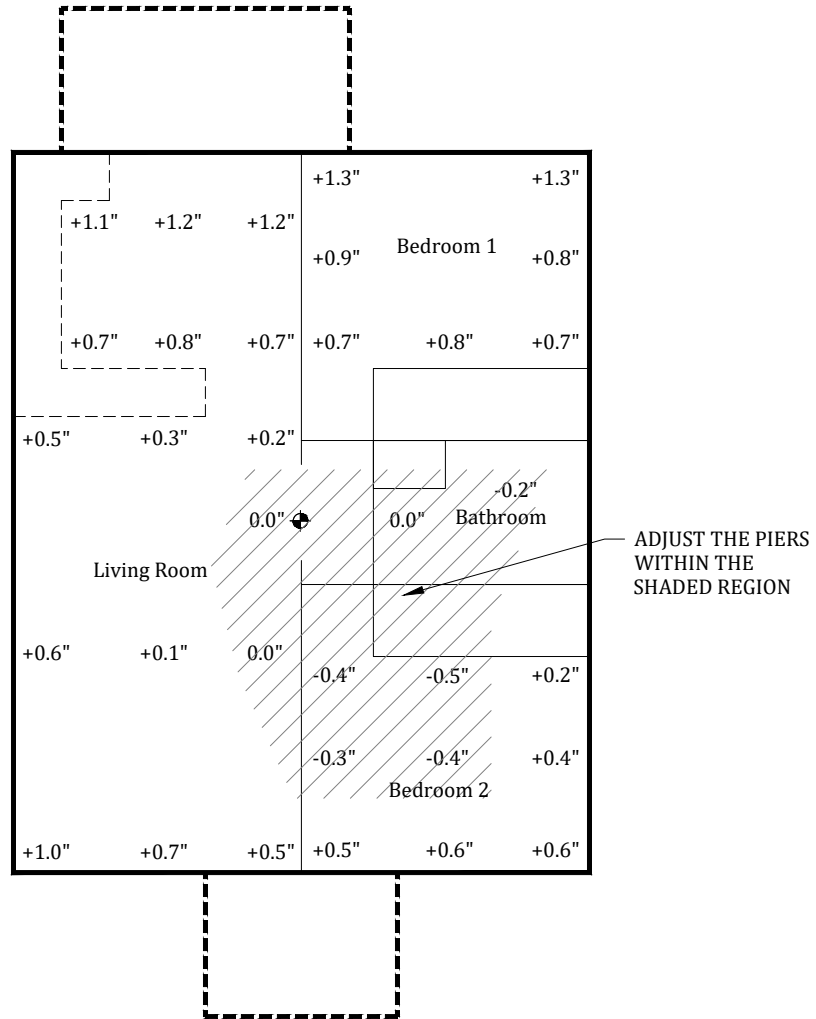


FIGURE 1

NOT TO SCALE

LEGEND	
○	Existing Concrete Pier
□	Existing CMU Pier
—	Floor Beam
—	Perimeter Skirt

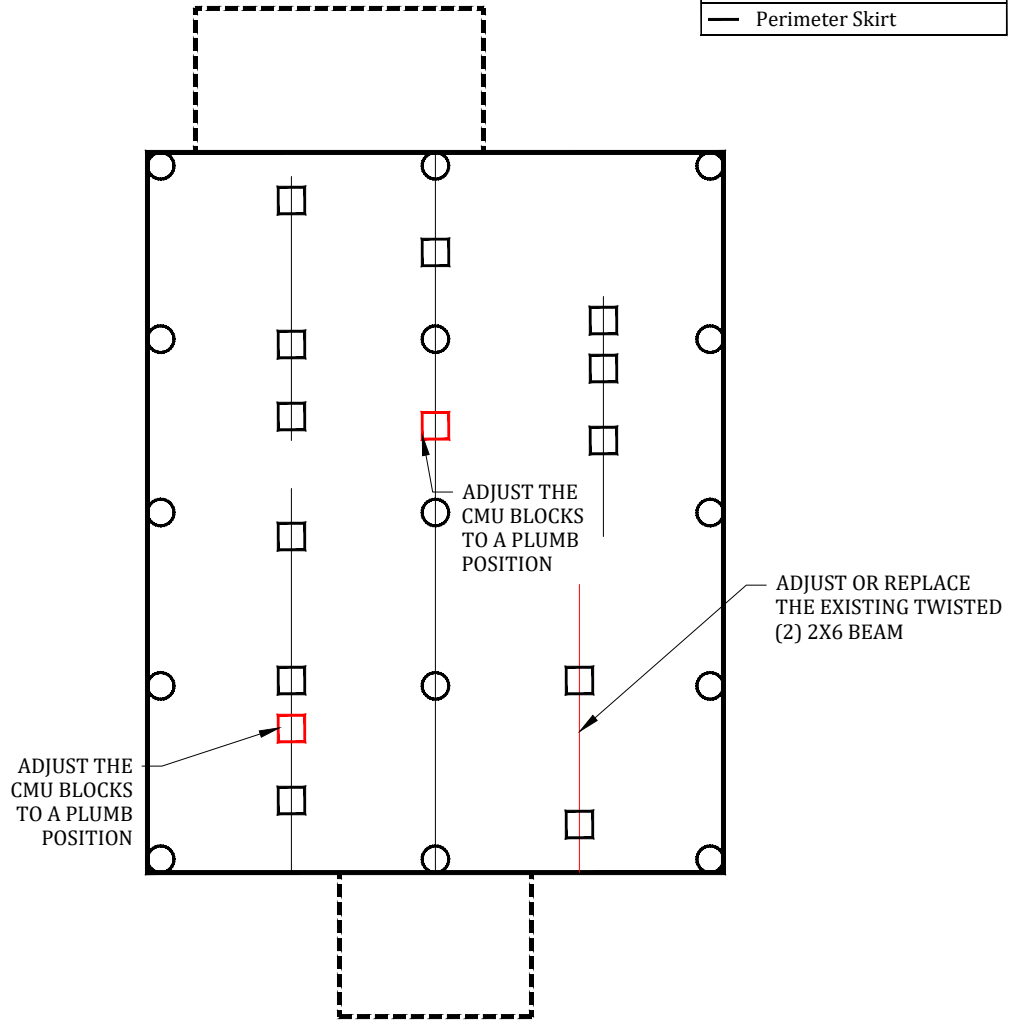


FIGURE 2

NOT TO SCALE